

**AUTHORITY HAVING JURISDICTION:**  
BRADLEY BEACH  
TYPE OF CONSTRUCTION: CONSTRUCTION TYPE - RESIDENTIAL  
USE GROUP: RS - RESIDENTIAL SINGLE FAMILY  
R301.2 CLIMATE AND GEOGRAPHIC DESIGN CRITERIA  
WIND CRITERIA: WIND WIND EXPOSURE: B WIND SPEED: 175 M.P.H.  
ZONES: M1  
APPLICABLE CODES:  
- REVISIONS: SUBCHAPTER 6 OF THE UCC  
- 2001 INTERNATIONAL RESIDENTIAL CODE ALI EDITION  
- 2001 NATIONAL ELECTRICAL CODE (NFPA 70)  
- 2001 NATIONAL STANDARD PLUMBING CODE  
- 2001 ASHRAE 90.1-2010 (ENERGY CONSERVATION)  
- 2001 INTERNATIONAL MECHANICAL CODE  
- 2001 INTERNATIONAL FUEL GAS CODE  
- 2001 INTERNATIONAL FIRE CODE

**BUILDING DESIGN LOADS**  
FLOORS:  
LIVING AREAS= 40 PSF LL+ 15 PSF DL=55 PSF TL  
ATTIC W/STORAGE= 20 PSF LL+ 12 PSF DL=32 PSF TL  
DECKS= 60 PSF LL+12 PSF DL= 72 PSF TL  
ROOF= 20 PSF LL+12 PSF DL= 32 PSF TL  
GROUND SNOW LOADS= 30PSF  
WIND WIND SPEED= 175MPH EXPOSURE B  
SEVERALTY

**GENERAL REQUIREMENTS:**  
THESE DRAWINGS ARE IN COMPLIANCE WITH THE ARCHITECT'S INTERPRETATION OF THE INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION 2001 AND THE UCC CONSTRUCTION CODE OF THE STATE OF NEW JERSEY. IT IS ASSUMED THAT WHEN A BUILDING PERMIT IS ISSUED BY THE BUILDING INSPECTOR, REVIEW HAS THOROUGHLY EXAMINED THE DRAWINGS AND SPECIFICATIONS ACCORDING TO THESE TWO CODES. ANY CHANGES, ADDITIONS, ETC., MADE BY ANY PARTY DURING CONSTRUCTION SHALL BE THE PERSON OR PERSONS RESPONSIBILITY.  
THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE INTERNATIONAL CODE AND IN ACCORDANCE WITH APPLICABLE CURRENT FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES.

THE FEDERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDING, STANDARD FORM, AMERICAN INSTITUTE OF ARCHITECTS LATEST EDITION, IS HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. A COMPLETE COPY OF THIS DOCUMENT IS ON FILE IN THE ARCHITECT'S OFFICE AND MAY BE REVIEWED UPON REQUEST.

**EXPLANATION OF PLANS:**  
THE CONTRACTOR SHALL EXAMINE ALL PLANS AND SPECIFICATIONS HEREBY WITH THE WORK AND DETERMINE TO WHICH THE NEW STRUCTURE WILL BE CONSTRUCTED, AS FOR THE WORK HEREON. ALL WORK REQUIREMENTS SHALL BE PERFORMED BY SKILLED WORKMEN IN THE APPROPRIATE CONSTRUCTION TRADE.

**VARIOUS IN CONFLICTS:**  
IF REQUIREMENTS VARY FROM CONFLICTING SECTIONS OR DRAWINGS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY, AND SHALL NOT PROCEED WITH THE WORK AT THE AREA UNTIL THE SITUATION HAS BEEN CLARIFIED. CONTRACTOR SHOULD VERIFY ALL DIMENSIONS PRIOR TO STARTING AND TO INSURE THAT UNITS ARE CORRECT.

**PERMITS & LICENSES:**  
CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES, ETC., AS REQUIRED BY LOCAL, STATE, AND AUTHORIZED BODIES HAVING JURISDICTION.

**UTILITY COMPANIES:**  
PROVIDE PROPER NOTIFICATION TO UTILITY COMPANIES TO SATISFY APPROPRIATE USE FOR BUILDINGS AND OCCUPANTS CONFORM TO LOCAL, STATE AND UTILITY CODES AND ORDINANCES FOR PROPER HOOK UP PROCEDURES.

5. **WOOD FINISHES:**
- 5.1. ALL LAMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION RECOMMENDED BY THE NFAA AND CODE STANDARDS LISTED IN THE GENERAL NOTES.
- 5.2. ALL FRAMING LAMBERS SHALL BE GRADE REGION DOUGLAS FIR CONSTRUCTION GRADE WITH A MINIMUM FIBER STRESS RATING OF 1200 PSI.
- 5.3. ALL EXTERIOR WALL SHEATHING AND SUB FLOORING SHALL BE OF EXTERIOR GRADE PLYWOOD TYPE C-D DOUGLAS FIR PLYWOOD. JOIST GRADING OR G.S.B SUB FLOOR SHALL BE 3/4" TONGUE AND GROOVE AND GROUTED AND SORBED TO JOIST. ROOF SHEATHING SHALL BE PLYWOOD.
- 5.4. SET ALL FLOOR JOISTS, CEILING JOISTS AND WOOD BEAMS WITH NATURAL CAMBER UP. JOISTS LAPPED OVER BEARING POINTS SHALL BE SECURELY SPICED TOGETHER. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL THERE AND AT ALL FLOOR PENETRATIONS. PROVIDE DOUBLE JOISTS AT STEPS AND VALLEYS AND AT ALL ROOF PENETRATIONS OR AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS.
- 5.5. PROVIDE STANDARD WOOD OR METAL CROSS BRACING WITHIN ALL FLOOR JOIST CONSTRUCTION AT A MINIMUM 8'-0" ON CENTER AND SLOPE CONTINUOUS BRACING AT JOIST ENDS. PROVIDE STRONG BACKS ABOVE BUT CLIMB. PROVIDE DETAILS AND HANGERS AS REQUIRED.
- 5.6. ANCHOR BOLTS AND PLATES TO MASONRY WALLS BELOW WITH A MINIMUM OF 3" DIAMETER 6' LONG GALVANIZED STEEL ANCHOR BOLTS, SPACED AT A MAXIMUM OF 4'-0" ON CENTER 1'-0" FROM EACH END. BOLTS SHALL BE SET INTO IN CONCRETE. PROVIDE TENSILE SHEAR ON STEEL BOLTS. WOOD PLATES SET OVER MASONRY. PROVIDE 3" SQUARE STEEL WASHERS ON EACH END.
- 5.7. PROVIDE HANGERS FOR OPENINGS IN FRAME WALLS AS FOLLOWS:  
FOR OPENINGS FROM 2' TO 5', USE (2) 2"x4"  
FOR OPENINGS FROM 5' TO 5', USE (2) 2"x6"  
FOR OPENINGS FROM 5' TO 7', USE (2) 2"x10"  
FOR OPENINGS FROM 7' TO 8', USE (2) 2"x12"
- 5.8. SPINE HANGERS TOGETHER WITH SPACERS BETWEEN 2' AND FOR OPENINGS 6' IN LENGTH AND OVER. PROVIDE DOUBLE STUDS UNDER BOTH BEARING ENDS.
- 5.9. WOOD STANG SHALL BE CONSTRUCTED AS FOLLOWS:  
5.9.1. STRONGERS: CLEAR SOFTWOOD WITH EFFECTIVE DEPTH OF MINIMUM 5'-1/2"  
5.9.2. TRACERS: HEMLOCK FOR FINISHED STAIRS, SOFTWOOD FOR BASEBALL STAIRS (STAIRMAN 4" X 1" MASON + 10" TONGUE)  
5.9.3. RISERS: 1-1/4" HEIGHT MAXIMUM.
- 5.10. PROVIDE 4" HIGH GUARDRAILS WITH 4" MINIMUM OPENINGS ON ALL DECKS, BALCONIES, RAISED PLATFORMS AND STAIRS 30" ABOVE GRADE. PROVIDE CLASPABLE HANDRAILS PER DETAILS.
- 5.11. ALL BRACING IN FLOOR JOISTS AND WOOD BEAMS FOR ELECTRICAL WIRING, PLUMBING LINES, ETC. SHALL BE MADE AT ITS CENTER LINE OR NEAR IT. IF ANY WOODEN MEMBER SHOULD BE DRILLED BELOW ITS NEUTRAL AXIS, DRILL MUST BE TAKEN NOT TO AFFECT ITS STRUCTURAL STRENGTH. IF, HOWEVER, ANY DAMAGE TO GRAIN STRUCTURAL MEMBER SHOULD OCCUR, IT MUST BE PROPERLY REINFORCED WITH ADDITIONAL WOOD MEMBERS AS NECESSARY.
- 5.11.1. JOISTS AND RAFTERS: DOUGLAS FIR FB-400 PSI  
5.11.2. STAIRS: MEK. FIR FB-325 PSI
- 5.12. ALL STRUCTURAL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. ALL FASTENERS, HANGERS, WASHERS, NAILS, ETC. SHALL BE HOT DIPPED GALVANIZED. NO REBAR/STEEL FLOORING SHALL BE IN CONTACT WITH P.3. LAMBER. COPPER FLASHING IS ACCEPTABLE.

**GENERAL REQUIREMENTS:**

01600 GENERAL  
COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE DISRUPTION OF BUILDING OPERATIONS. PROTECTION FROM DAMAGE EXISTING CONSTRUCTION AND FACILITIES THAT ARE TO REMAIN IN PLACE AND BECOME EXPOSED DURING CONSTRUCTION OPERATIONS.

CUT WORK IN A MANNER THAT WILL MINIMIZE DAMAGE TO ADJACENT WORK TO REMAIN.  
RETURN ALL STRUCTURES AND SURFACES TO REMAIN & ARE DISTURBED BY CONSTRUCTION OPERATIONS TO CONDITION PRIOR TO COMMENCEMENT OF WORK.  
RESTORE EXPOSED FINISHES OF PATCHED AREAS TO EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE EVIDENCE OF CUTTING & PATCHING.

REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS FROM BUILDING SITE DAILY.  
TRANSPORT & LEGALLY DISPOSE OFF ALL WASTE MATERIAL OFF SITE.  
BROOM CLEAN ALL AREAS WITHIN CONTRACT LIMITS AS NECESSARY TO KEEP SITE CLEAN.  
KEEP MEANS OF EGRESS FREE FROM OBSTRUCTIONS AT ALL TIMES.

SCHEDULING OF ALL SHUTDOWNS & OTHER INTERRUPTIONS OF EXISTING UTILITIES AND BUILDING SYSTEMS SHALL HAVE THE APPROVAL OF THE LANDLORD AND AUTHORITIES HAVING JURISDICTION.

PRIOR TO COMMENCEMENT OF WORK CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND FAMILIARIZE HIMSELF WITH THE SITE AND OTHER CONDITIONS THAT MAY AFFECT THE WORK. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS & OTHER CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION PRIOR TO EXECUTION OF WORK.

01600 MATERIALS  
USE BUILDING STANDARD PRODUCTS AND MATERIALS EXCEPT AS OTHERWISE NOTED OR REQUIRED.

PROVIDE PRODUCTS COMPLETE WITH ALL ACCESSORIES, TRIMS, FINISH AND OTHER DEVICES & DETAILS NEEDED FOR COMPLETE INSTALLATION & FOR INTENDED USE AND EFFECT.

COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION OF MATERIALS & EXECUTION OF THE WORK EXCEPT WHERE EXCEEDED BY REQUIREMENTS INDICATED ON THE CONTRACT DOCUMENTS.

WHERE PRODUCTS MANUFACTURERS ARE NOT BUILDING STANDARD & ARE NOT SPECIFIED BY NAME & RECOMMENDED BY THE TERM "OR EQUAL", OBTAIN THE ARCHITECTS APPROVAL FOR THE USE OF ANY UNNAMED OR ALTERNATE PRODUCT.

WHERE THE CONTRACT DOCUMENTS REQUIRE MATCHING AN ESTABLISHED SAMPLE, THE ARCHITECT'S DECISION WILL BE FINAL ON WHETHER A PROPOSED PRODUCT MATCHES SATISFACTORILY.

**GENERAL NOTES:**

**FINISH MATERIALS & FINISHES**

ALL INTERIOR TRIM, CASING, ETC. & ALL INTERIOR FINISHES SHALL BE AS SELECTED BY OWNER. ALL FIXTURES, APPLIANCES, CABINETS & COUNTER TOPS, ETC. SHALL BE AS SELECTED BY OWNER. ALL NEW SURFACES OF GYPSUM BOARD SHALL BE PRIME, PAINTED AND RECEIVE (2) COATS OF FINISHED PAINT. (COLOR SELECTED BY OWNER)

**STAIRS**

STAIRS, HAND & GUARD RAILINGS & BALUSTERS SHALL BE IN ACCORDANCE WITH IRC-2018 SECTIONS R314.3.015 & R315.

**INSULATION**

CEILING INSULATION SHALL BE FIBERGLASS BATT W/ VAPOR BARRIER - R-30 (R-30C @ VALUED CEILING). PROVIDE BATTLES @ CAVES AS REQUIRED. WALL INSULATION SHALL BE FIBERGLASS BATT W/ VAPOR BARRIER - R-13. FLOOR INSULATION SHALL BE FIBERGLASS BATT W/ VAPOR BARRIER - R-10 @ CRAWL SPACE & R-30 @ GARAGE. SOUND CONTROL INSULATION SHALL BE FIBERGLASS BATT (UNFACED) - R-11 @ BATH ROOMS & LAUNDRY ROOM.

**ELECTRICAL**

ALL ELECTRICAL FIXTURES SHALL BE AS SELECTED BY OWNER. CONTRACTOR SHALL VERIFY FIXTURE PLACEMENT WITH OWNER PRIOR TO INSTALLATION. ALL EXISTING POWER OUTLETS AND LIGHTING TO REMAIN UNLESS OTHERWISE NOTED. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

**PLUMBING**

ALL PLUMBING FIXTURES SHALL BE AS SELECTED BY OWNER. CONTRACTOR SHALL VERIFY FIXTURE PLACEMENT WITH OWNER PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE ALL REQUIRED DIAGRAMS TO BUILDING DEPARTMENT. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

**MECHANICAL**

ALL HEATING, COOLING AND VENTILATION SYSTEMS SHALL BE AS SELECTED BY OWNER. CONTRACTOR SHALL VERIFY FIXTURE PLACEMENT WITH OWNER PRIOR TO INSTALLATION. ALL MECHANICAL AND ELECTRICAL DEVICES ARE SHOWN FOR ARCHITECTURAL LOCATION ONLY. THE MEP ENGINEER AND/OR SUBCONTRACTOR IS RESPONSIBLE FOR ACTUAL DEVICE LOCATION, CIRCUITRY, ADEQUACY AND QUANTITIES. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES. PROVIDE RADIANT FLOOR HEATING IN KITCHEN, SUNROOM, DINETTE, FAMILY ROOM, ENTRY AND ALL BATHROOMS. PROVIDE BASEBOARD HEATING IN ALL BEDROOMS, W.C., STUDY, LAUNDRY ROOM, HALL AND GAME ROOM.

**CODE CONFORMANCE**

- AI IRC- 2021
- THE REHABILITATION SUB-CODE
- ASCE 24-05

**BUILDING DATA**

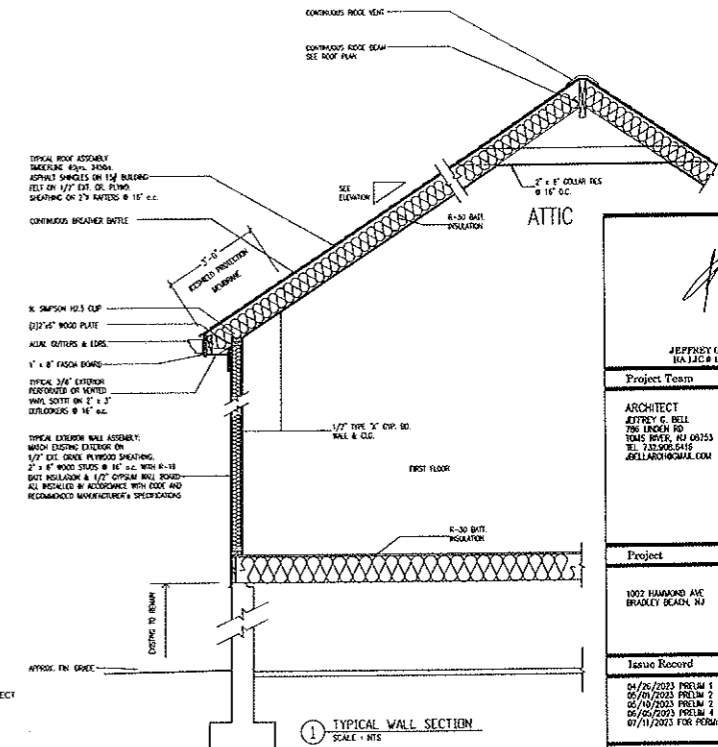
NUMBER OF STORIES= 1  
HEIGHT OF STRUCTURE= 21'6" MEASURED FROM GRADE  
AREA LARGEST FLOOR= 810 SF  
NEW BUILDING AREA= NA SF  
VOLUME OF NEW STRUCTURE= NA CU FT  
MAX. LIVE LOAD= 40PSF  
MAX OCCUPANCY LOAD (200SF/PERSON CROSS)= 4  
TOTAL LAND AREA DISTURBED= 810SF  
FLOOD HAZARD ZONE= NA  
BASE FLOOD ELEVATION= NA

# FIRE RESTORATION

## 1002 HAMMOND AVE BRADLEY BEACH, NJ

**SCHEDULE OF DRAWINGS:**

TITLE SHEET, GENERAL NOTES, EXISTING AND PROPOSED SITE PLAN, PROJECT DATA, BUILDING DATA, APPLICABLE CODES	
NOTES AND SPECIFICATIONS	
A1	PROPOSED FLOOR PLANS
A2	PROPOSED ELEVATIONS
A3	ELECTRICAL PLANS
A4	ROOF PLAN
A5	DETAILS



**SCOPE OF WORK:**

1. RECONSTRUCT SINGLE STORY RESIDENCE FROM TOP OF FOUNDATION.

**ATTENTION:**

DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS SHALL BE USED. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.  
NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE APPROVAL OF THE ARCHITECT.

CONTRACTOR TO NOTIFY ARCHITECT WHEN REINFORCING STEEL FOR FOOTING IS READY FOR INSPECTION PRIOR TO CONC. POUR.

VERIFY ALL DIMENSIONS IN FIELD, NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION

JEFFREY G. BELL  
REGISTERED ARCHITECT

**Project Team**

ARCHITECT  
JEFFREY G. BELL  
780 LEXINGTON RD  
1045 REVER, NJ 08753  
TEL. 732.908.5418  
JBELL@GMAIL.COM

**Project**

1002 HAMMOND AVE  
BRADLEY BEACH, NJ

**Issue Record**

04/26/2023	PRELIM 1
05/01/2023	PRELIM 2
05/10/2023	PRELIM 3
05/25/2023	PRELIM 4
07/11/2023	FOR PERMIT

**Sheet Title**

OVERALL LAYOUT

DATE: 04-26-23  
PRJ. NO. INT-01-19  
DRAWN BY: JB

**T1**

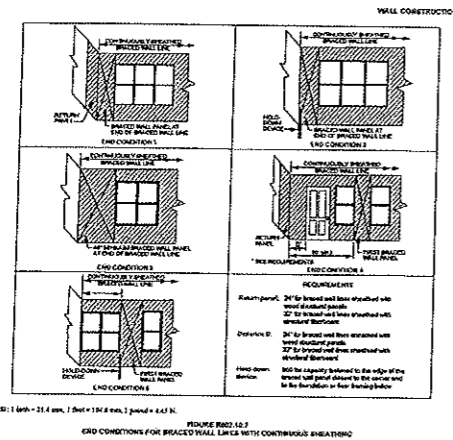


FIG. R202.1.2 END CONDITIONS FOR BRACED WALL PANELS WITH CONTINUOUS SHEATHING... FIG. R202.1.3 END CONDITIONS FOR BRACED WALL PANELS WITH DISCRETE SHEATHING...

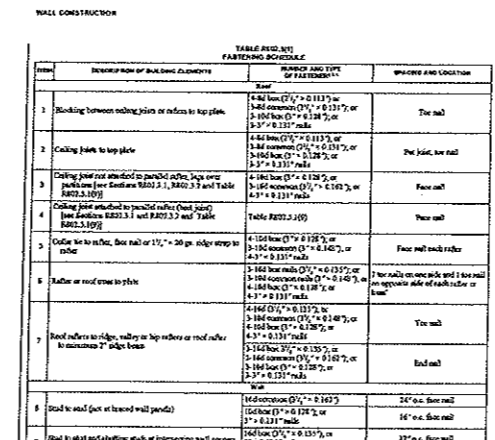


TABLE R202.1.1 FASTENING SCHEDULE... TABLE R202.1.2 FASTENING SCHEDULE... TABLE R202.1.3 FASTENING SCHEDULE...

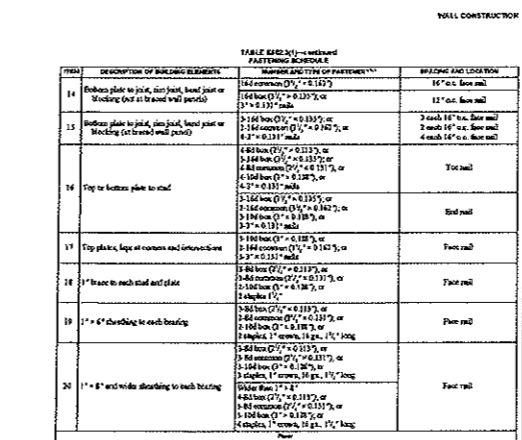


TABLE R202.2.1 FASTENING SCHEDULE... TABLE R202.2.2 FASTENING SCHEDULE... TABLE R202.2.3 FASTENING SCHEDULE...

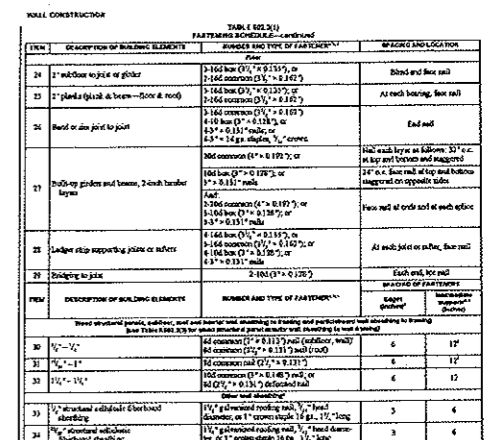


TABLE R202.3.1 FASTENING SCHEDULE... TABLE R202.3.2 FASTENING SCHEDULE... TABLE R202.3.3 FASTENING SCHEDULE...

R702.3.1 and R702.3.2 Roof construction shall be provided in accordance with Section R301... R702.3.3 and R702.3.4 Roof trusses in accordance with Section R301.1.3...

TABLE R202.3.1 FASTENING SCHEDULE... TABLE R202.3.2 FASTENING SCHEDULE... TABLE R202.3.3 FASTENING SCHEDULE...

TABLE R202.2.1 FASTENING SCHEDULE... TABLE R202.2.2 FASTENING SCHEDULE... TABLE R202.2.3 FASTENING SCHEDULE...

TABLE R202.3.1 FASTENING SCHEDULE... TABLE R202.3.2 FASTENING SCHEDULE... TABLE R202.3.3 FASTENING SCHEDULE...

R702.3.4 Insulating concrete form walls. Form plastic for insulating concrete form walls shall be provided in accordance with Section R301.1.2...

TABLE R202.1.1 FASTENING SCHEDULE... TABLE R202.1.2 FASTENING SCHEDULE... TABLE R202.1.3 FASTENING SCHEDULE...

TABLE R202.2.1 FASTENING SCHEDULE... TABLE R202.2.2 FASTENING SCHEDULE... TABLE R202.2.3 FASTENING SCHEDULE...

TABLE R202.3.1 FASTENING SCHEDULE... TABLE R202.3.2 FASTENING SCHEDULE... TABLE R202.3.3 FASTENING SCHEDULE...

TABLE R702.3.1 MINIMUM THICKNESS AND APPLICATION OF SHEATHING AND OVERLAP PANEL PRODUCTS

TABLE R202.1.1 FASTENING SCHEDULE

TABLE R202.2.1 FASTENING SCHEDULE

TABLE R202.3.1 FASTENING SCHEDULE

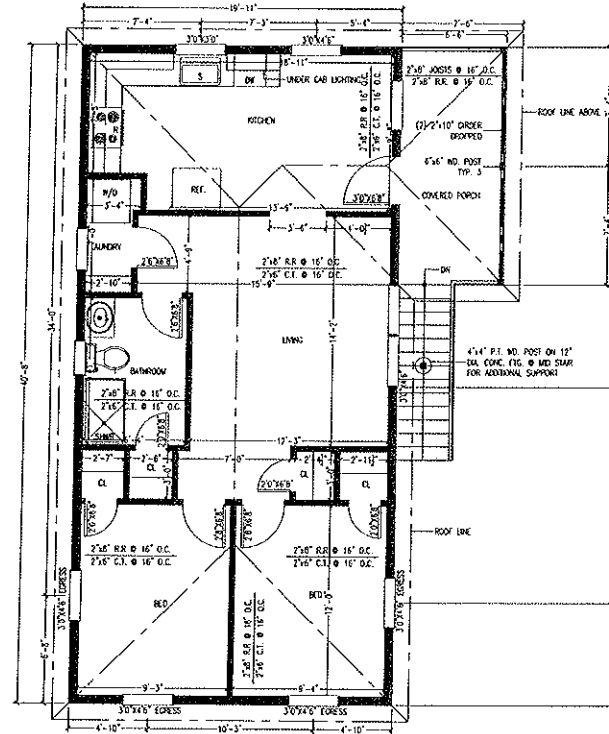
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R702.3.2.1 Sheathing shall be provided in accordance with Section R301.1.2... R702.3.2.2 Sheathing shall be provided in accordance with Section R301.1.2...


R702.3.3.1 Sheathing shall be provided in accordance with Section R301.1.2... R702.3.3.2 Sheathing shall be provided in accordance with Section R301.1.2...

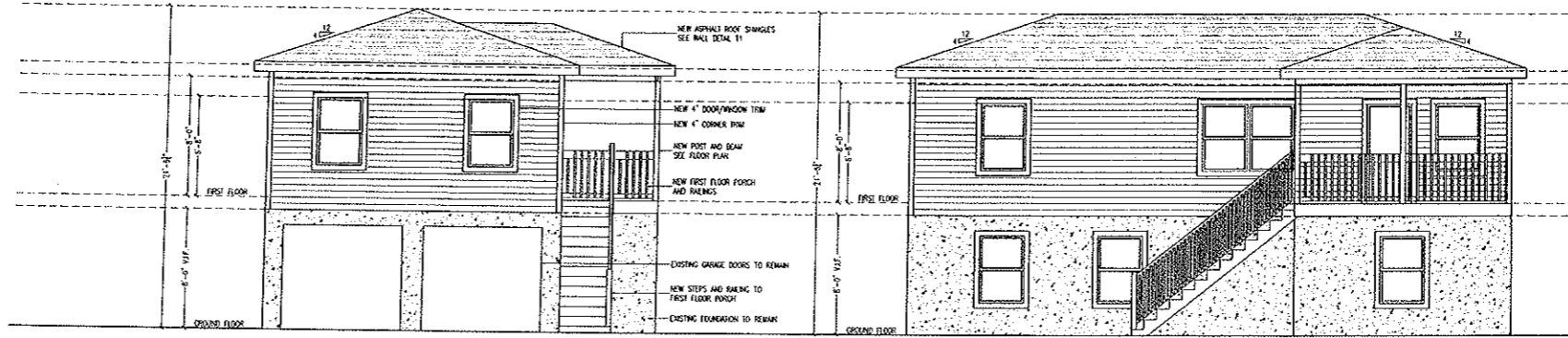
R702.3.4.1 Sheathing shall be provided in accordance with Section R301.1.2... R702.3.4.2 Sheathing shall be provided in accordance with Section R301.1.2...

Project Information: ARCHITECT JEFFREY G. BELL, 1002 HANCOCK AVE, BROADWAY, READI, NJ. Project Title: OVERALL LAYOUT. DATE: 04.04.23. P&I NO: 04-01-19. DRAWN BY: JB. T2



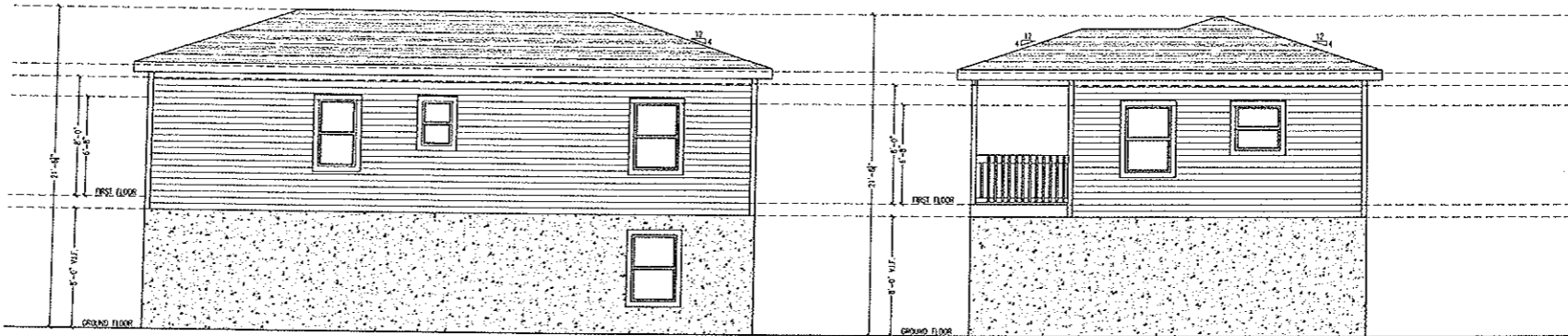
1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

 JEFFREY G. BELL 34 SLOCUM ROAD	
Project Team	
ARCHITECT JEFFREY G. BELL 786 LINDEN RD TIMES BEACH, NJ 08753 TEL: 732.906.6410 JBELL@JGWSAIA.COM	
Project	
1002 HARBOND AVE BRADLEY BEACH, NJ	
Issue Record	
04/26/2023 PRELIM 1 05/03/2023 PRELIM 2 05/10/2023 PRELIM 2 05/02/2023 PRELIM 4 07/11/2023 FOR PERMIT	
Sheet Title	
FLOOR PLANS	
DATE: 04-26-23 PRL. NO.: BT-01-10 DRAWN BY: JB	A1



① FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

② RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



③ LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

④ REAR ELEVATION  
SCALE: 1/4" = 1'-0"

JEFFREY G. BELL  
60612/G#18746

Project Team

ARCHITECT  
JEFFREY G. BELL  
700 LINDEN RD  
UMS RIVER, NJ 08753  
TEL 732-858-6410  
BELLAS@GMAIL.COM

Project

1002 HAWKSB AVE  
BRADLEY BEACH, NJ

Issue Record

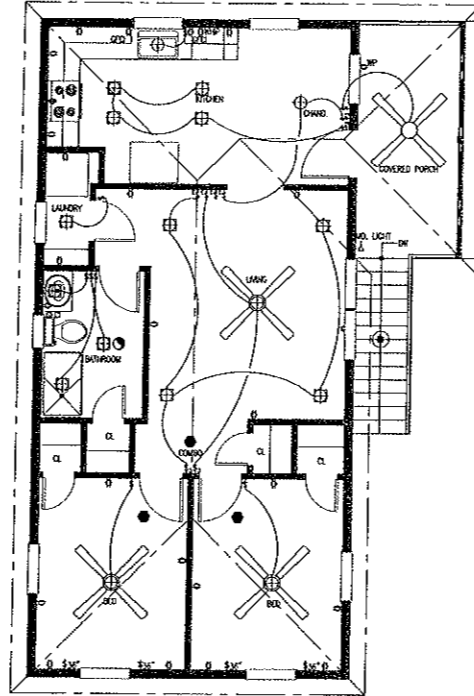
04/26/2023 PRELIM 1  
05/01/2023 PRELIM 2  
05/10/2023 PRELIM 3  
06/02/2023 PRELIM 4  
07/11/2023 FOR PERMIT

Sheet Title

ELEVATIONS


DATE: 04-26-23  
PRJ. NO: BT-01-19  
DRAWN BY: JB

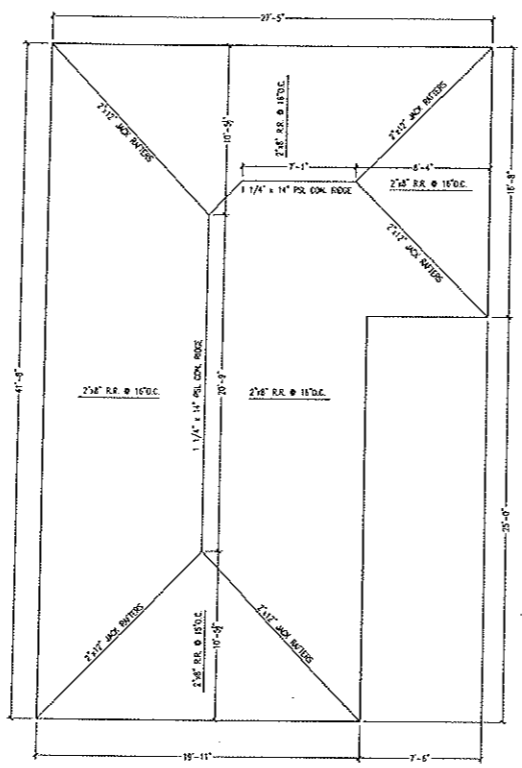
A2



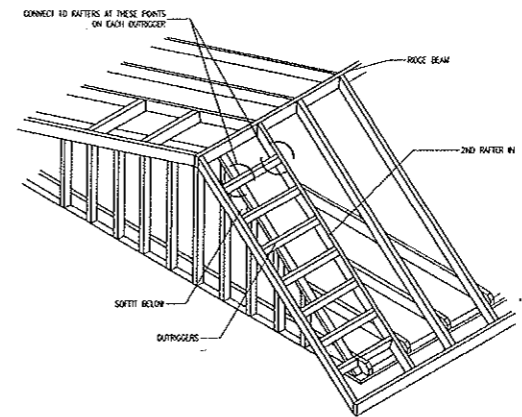
1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- ELECTRICAL KEY**
- - ELECTRICAL OUTLET
  - - ELECTRICAL OUTLET-220 V
  - ⊕ - PENDULOSCOPI LIGHT FIXTURE SINGLE BULB
  - ⊞ - RECESSED LIGHT FIXTURE 4" LED
  - ⊞ - RECESSED SPOT LIGHT
  - ⊞ - EXHAUST FAN
  - ⊞ - JUNCTION BOX LOCATION
  - ⊞ - SMOKE DETECTOR - WALL MOUNT
  - ⊞ - AC/DC INTERCONNECTED SMOKE ALARMS
  - ⊞ - TELEVISION CABLE OUTLET
  - ⊞ - TELEPHONE JACK
  - ⊞ - SINGLE POLE SWITCH
  - ⊞ - THREE WAY SWITCH
  - ⊞ - FOUR WAY SWITCH
  - ⊞ - LOW VOLTAGE PUSH BUTTON SWITCH
  - ⊞ - DOOR CHIME LOCATION
  - ⊞ - DOORBELL RINGING TRANSFORMER
  - ⊞ - TRACK LIGHT (FEATURE COUNT AS SHOWN)
  - ⊞ - TRACK LIGHT (FEATURE COUNT AS SHOWN)
  - ⊞ - CEILING FAN
  - ⊞ - OUTSIDE LIGHTS SENSOR


 JEFFREY D. BELL RA LIC # 15745	
Project Team	
ARCHITECT JEFFREY D. BELL 786 LINDEN RD. TOWNSHIP, NJ 07055 TEL 732.906.6418 J.BELL@JDBELL.COM	
Project	
1002 HAWMOND AVE BRADLEY BEACH, NJ	
Issue Record	
04/26/2023 PRELIM 1 05/01/2023 PRELIM 2 05/10/2023 PRELIM 3 06/06/2023 PRELIM 4 07/17/2023 FOR PERMIT	
Sheet Title	
ELECTRICAL PLANS	
DATE: 04-26-23 PRL NO: BT-01-10 DRAWN BY: JB	A3



1 PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"



OUTRIGGER DETAIL  
SCALE: 1/8"=1'

 JEFFREY G. BELL RA LIC # 19746	
Project Form	
ARCHITECT JEFFREY G. BELL 786 LINDEN RD STONE RIDGE, NJ 08753 TEL: 732-808-6416 BELLARCH@GMAIL.COM	
Project	
1022 HARBORS AVE BROOKLYN BEACH, NJ	
Issue Record	
04/28/2023 PRELIM 1 05/07/2023 PRELIM 2 05/10/2023 PRELIM 2 06/05/2023 PRELIM 4 07/11/2023 FOR PERM1	
Sheet Title	
ROOF PLAN	
DATE: 04/28/23 PROJ. NO: BT-21-10 DRAWN BY: JB	A4

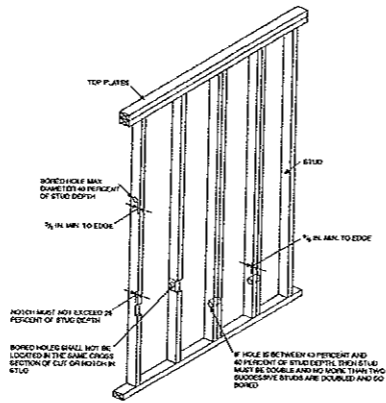


FIGURE 811  
NOTCHING AND BORED HOLE LIMITATIONS FOR EXTERIOR WALLS AND BEARING WALLS

R507.1.2 Deck post to deck beam. Deck beams shall be attached to deck posts in accordance with Figure R507.1.1 or by other equivalent means capable to resist lateral displacement. Manufactured post-to-beam connectors shall be sized for the post and beam sizes. All bolts shall have washers under the head and nut.

Exception: Where deck beams bear directly on footings in accordance with Section R507.1.1.

R507.1.3 Deck posts. For single-level wood-framed decks with knee bracing in accordance with Table R507.6, deck post size shall be in accordance with Table R507.7.

R507.1.1 Deck post to deck footing. Posts shall bear on footings in accordance with Section R503 and Figure R507.1.1. Posts shall be restrained to prevent lateral displacement at the bottom support. Such lateral restraint shall be provided by manufacturer's methods in accordance with Section R507 and the manufacturer's instructions or a minimum post embedment of 12 inches (305 mm) in surrounding soils or concrete piers.

TABLE R507.7  
DECK POST HEIGHT

DECK POST SIZE	MAXIMUM HEIGHT
4 x 4	2'
4 x 6	8'
6 x 6	12'

7/8" O.D. bolt - 3/4" dia. nut  
A - Minimum embedment of the beam

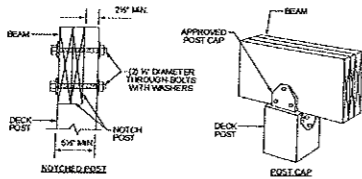


FIGURE 812  
NOTCHING AND BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS

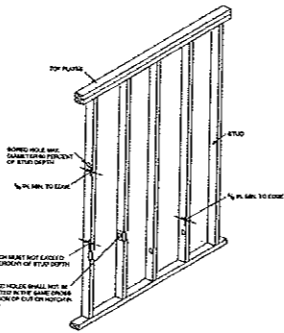


FIGURE 813  
NOTCHING AND BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS

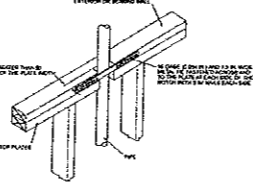


FIGURE 814  
TOP PLATE FRAMING TO ACCOMMODATE PIPING

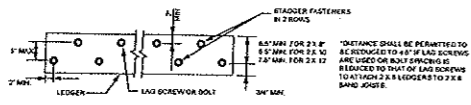
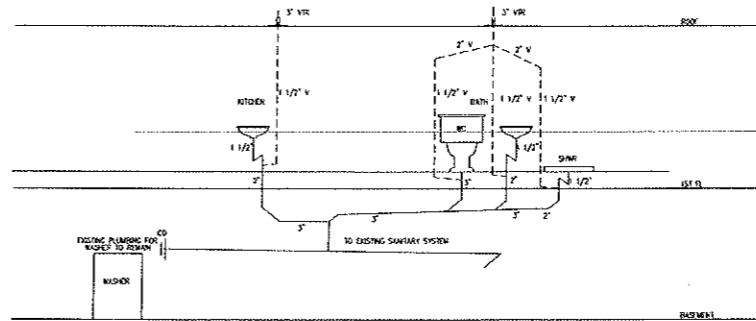


FIGURE 815  
PLACEMENT OF LAG SCREWS AND BOLTS IN LEDGER



PRB  
SCALE: 1/8" = 1'-0"

*[Signature]*

JEFFREY G. BELL  
RA LIC# 10146

Project Team  
ARCHITECT  
JEFFREY G. BELL  
780 IRDEN RD.  
TOWNSHIP, NJ 08753  
TEL: 732-908-6416  
JBELL@GMAIL.COM

Project  
1002 HUMANO AVE.  
BRADLEY BEACH, NJ

Issue Record  
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05/01/2023 PRELIM 2  
05/02/2023 PRELIM 3  
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07/11/2023 FOR PERMIT

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