

General Requirements

All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing and fire codes. Contractor shall verify all code requirements before commencement of construction and bring any discrepancies between existing conditions and construction documents to the attention of the Architect.

Details and sections on the drawings are shown at specific locations and are intended to show general requirements throughout. Details noted "typical" imply all conditions treated similarly. Modifications may be made by contractor to accommodate minor variations.

All drawings shall be fully coordinated by contractor to verify all dimensions, locate depressed slabs, slopes, drains, outlets, recesses, registers, bolt settings, sleeves, etc. The contractor shall verify and protect all service lines and existing site area from deterioration or damage.

The Architect/Engineer shall not be responsible for the safety and construction procedures, technique, or the failure of the builder to carry out the work in accordance with the drawings or the required codes and the abatement of hazardous materials.

Documents prepared for this project are instruments of service for use solely for this project. The Architect shall retain all common law, statutory and other reserved rights of the documents.

The Contractor shall obtain all necessary building permits.

Concrete

Concrete shall be portland cement installed per ACI 318 latest edition.
Walls & Footings: 3000 psi 28 day comp. strength
Interior slabs: 2500 psi min.
Exterior slabs: 3500 psi
Steel reinforcement : Grade 40 ASTM A 615
Crushed Stone: ASTM 57
Slab underlayment: 6 mil vapor barrier lap joints 6" min.

Masonry

CMU: ASTM C-90 Type II
min compressive strength: 1000 psi
New Mortars shall meet ASTM C270
Mortar type: M for below grade Type S for above grade
Grouts shall meet ASTM C476
Cultured Stone: per Owner spec and installed per Mfr. Recommendations

Metals

Structural Steel : ASTM A-36
Anchor bolts: Galvanized min. 1/2" dia x 15"
Lag bolts & Through bolts: Galv. with washer per detail
Flashings to be galv. and back painted at conditions of contact with treated lumber
All structural steel to be provided with corrosion resistant paint finish.

Fasteners to be hot dipped galvanized per ASTM 153, provide bolts with washers
Metal Connectors to be Simpson "z max" or eq.
Install per Manufacturers nailing recommendations

Straps and hold down ties to be by Simpson Strong-Tie or approved equal and have galvanized finish. All metal exposed to weather to be double hot dipped or "z max" finish

Carpentry

All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
National Forest Products Association: National Design Specifications for wood construction, NDS (latest ed.)
American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.
American Wood-Preservers Association Standards.

All structural lumber shall be Hem Fir No.2 Structural Lumber or better.

Fb = 1000 Fv = 135 Fc = 1400 E = 1.6⁶

Non-Bearing lumber shall be Hem Fir No.2 (min.) or better

Fb = 875 Fv = 135 Fc = 1150 E = 1.4⁴

Engineered lumber shall be "Versalium" by Boise Cascade or equal

Fb = 3100 Fv = 285 Fc = 3000 E = 2.0⁶

Treated deck lumber shall be Southern Pine No.2

Fb = 1235 Fv = 140 Fc = 1650 E = 1.6⁶

The Design Loads are as follows:

Deflection Criteria: floors : L/480 roof: L/240

ROOF FLOOR 1st/2nd

Live Load: 30 psf Live Load: 40/30 psf

Wind design speed: 123 mph Exposure B, CAT II wind-brn

Dead Load: 15 psf Dead Load: 15 psf

Wall Bracing Method : CS-WSP

Presumptive soil bearing : 2500 psf

All frame headers at non-bearing conditions shall be as follows:

OPENING SIZE HEADER (2) 2x4

up to 4'-0" (2) 2x6

4'-0" to 6'-0" (2) 2x8

6'-0" to 9'-0" (2) 2x10

Walls shall be 2x6 at 16" oc or 2x4 @ 16" oc (see plan)

Plans are dimensioned to rough framing edge.

Openings shall all have (1) king stud and (1) jack stud per jamb. Where multiple jacks are required see plan for note.

Bearing walls shall have double top plates and single bottom plate. All walls not bearing shall have one top and bottom plate. Exterior wall corners to be "California" 3 stud corners. Where interior walls meet exterior wall provide 2x4 ladder at stud bays.

All penetrations to top and bottom plates shall be caulked with fire safeing caulk.

All lumber in contact with concrete in interior conditions shall be preservative treated AWPA Standard : Category UC2, inorganic Boron (SBX).

All lumber in contact with concrete or above ground in exterior conditions shall be preservative treated AWPA : Trims and fascias, Category UC3B

Structural posts or columns, Category UC4B

Roof sheathing shall be 7/16" exposure 1 OSB 24/16 span rating or approved equal. Install per mfg. recommendations.

Alternate: "Zip System" sheathing with taped joints

Nailing: galv ring shank 8d nails 6" oc edge, 12" oc field

Wall sheathing shall be 7/16" exposure 1 OSB or equal.

Alternate: "Zip System" sheathing with taped joints

Nailing: 6d galv. nails 6" oc edge, 12" oc field

KING AND JACK STUDS IN EXTERIOR WALLS

OPENING SIZE # KING EACH SIDE # JACK STUDS

UP TO 8'-0" 1 1

10'-0" AND OVER 2 2

SIZE OF HEADER SEE PLAN

Moisture and Thermal

Exterior finish to be Siding selection by Owner and installed per manufacturer's recommendations over approved building wrap.
Stucco to be cementitious with 3 coats and reinforced w/ galv expanded mesh over min. 2 layers 1/8" flr. or approved stucco rated building wrap installed per Mfr. recommendations

Provide and install galv. flashing at all roof to wall conditions projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide water-tight and weatherproof performance.

Roofing shall be self sealing asphalt fiberglass shingles Grade "H" min. to be fastened according to manufacturer's recommended instructions Min. 6 nails per shingle over approved underlayment or 15# felt min. Provide two layers of 15# building felt as underlayment (min.) at roofs with pitch less than 4/12 or ice-water shield.

Roofing Color and style per Owners Spec.

Provide ice and water shield underlayment at eaves to extend a minimum of 24" past exterior wall surface Gutters and leaders to be 0.32" prefinished aluminum. Locate as indicated.

Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilation openings and ridge vents protected against the entrance of rain and insects. Refer to drawings for locations.

Building wrap: "Tyvek" building wrap or approved equal

Provide and install 1 1/2" thick insulation with an R value of 38 in all roof/ceiling insulation in all roof/ceiling spaces above living areas and where indicated on drawings.

Provide and install 3 1/2" thick kraft faced glass fiber batt insulation with an R value of 13 in all exterior walls spaces adjacent to heated areas.

Provide and install 6" thick glass fiber batt insulation with an R value of 20 in all 5 1/2" ext. walls and floors over crawl spaces

Fill all voids around doors, windows and openings w/ fiberglass and/or foam insulation. Fit insulation tight to and behind mechanical and electrical service devices and boxes. Leave no gaps or voids.
Where existing finish is removed in exterior walls verify existing insulation and replace or add new insulation meeting above standards.

Provide cont. bead of silicone sealant at bottom of all exterior wall sole plates where drywall meets floor and existing walls.

Doors and Windows

Reference standards for doors shall be as follows:

a. Underwriters Laboratories, Inc. Building Materials directory

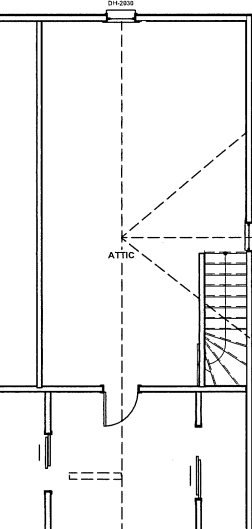
b. National Woodwork Manufacturers association: I.S. 1078

Wood floor doors.

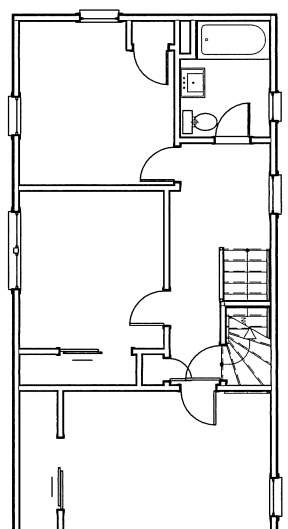
c. Air leakage: ASTM E283

d. Water Resistance: ASTM E331

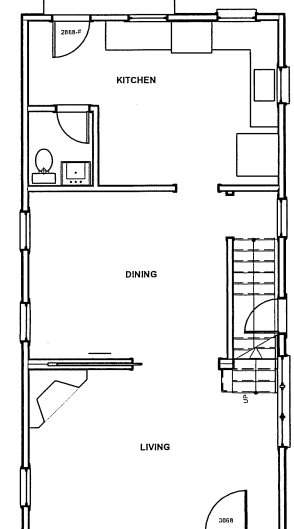
Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrance and exit doors, tub enclosures and storm doors shall meet the requirements set forth in the Building Code and the Safety Standard for Glazing Materials (16 CFR 1201). All glazed panels located within 24" of a door shall be tempered glass, unless such panels are provided with a horizontal member of 1-1/2" in width and located 36" above the walking surface.



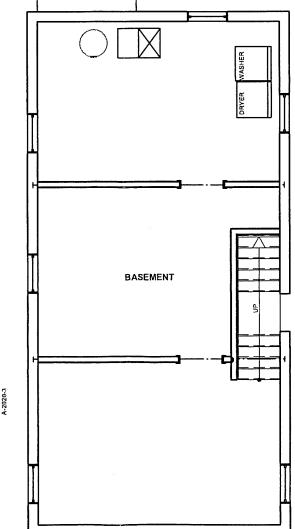
3 EXISTING ATTIC PLAN
Scale: 1/8" = 1'-0"



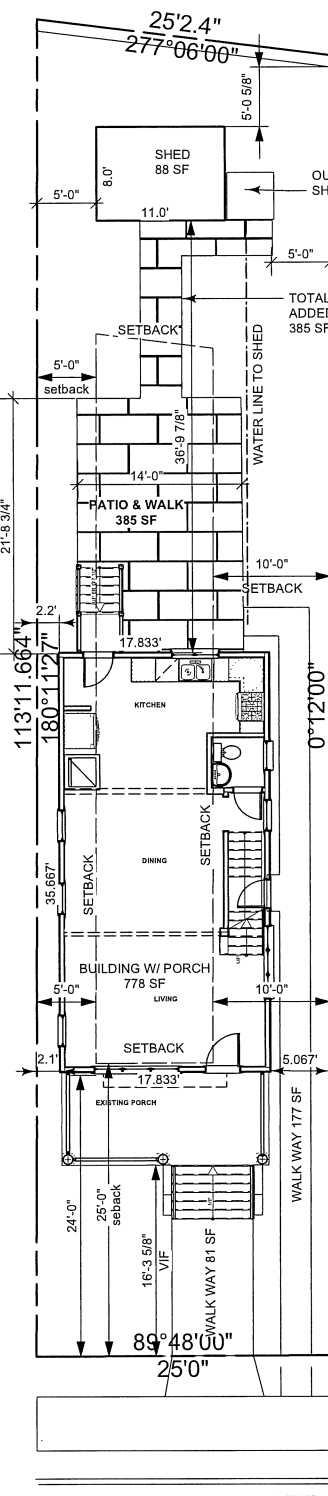
5 EXISTING 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"



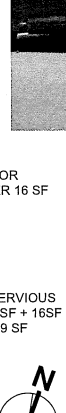
4 EXISTING 1ST FLOOR PLAN
Scale: 1/8" = 1'-0"



1 EXISTING BASEMENT
Scale: 1/8" = 1'-0"



2 PLOT PLAN
Scale: 1" = 10'-0"



ELECTRICAL LEGEND			
	DUPLEX OUTLET		WALL SWITCH
	DUPLEX GROUND FAULT CIRCUIT INT.		3 WAY SWITCH
	DUPLEX WATER PROOFED		4 WAY SWITCH
	DUPLEX OUTLET 1/2 HOT		CEILING EXHAUST FAN
	FLOOD LAMP		SMOKE DETECTOR
	CARBON MONOXIDE DET.		CEILING LUMINAIRE
	TELEPHONE DATA		WALL LUMINAIRE
	TVCABLE		PENDANT LUMINAIRE
	WALL WASH		RECESSED LUMINAIRE

NOTE: LUMINAIRE AND FIXTURES SHALL BE DESIGNED FOR LOCATION. ALL NEW CIRCUITS SHALL BE AFCI. ALL RECEPTILES TO BE TAMPER RESISTANT. VERIFY THAT SMOKE DETECTORS THROUGHOUT BEDROOMS EXIST. ADD ONE PER BEDROOM WITH BATTERY BACKUP. FNON EXISTANT HARD WIRED AND MIN. ONE PER FLOOR WITH CO DETECTOR

ABBREVIATIONS

ABV. ABOVE
CONC. CONCRETE
FND FOUNDATION
FTG FOOTING
INSL. INSULATION
O.H. OVER HANG
OC ON CENTER
VIF VERIFY IN FIELD
M.T. MARBLE THRESHOLD
TMP TEMPERED

PLAN LEGEND

EXTERIOR FRAME WALL
STUDS 16" OC R-13/R-20
INSL 1/2" G/WB INT FINISH
 EXISTING WALL
 NEW WALL
2x4 STUDS 16" OC
W/ 1/2" G/WB FINISH

ZONING REQUIREMENTS

ZONING REQUIREMENTS DISTRICT: R-1 EAST-WEST STREETS			
	REQUIRED	EXISTING	PROPOSED
LOT	5000 SQ. FT	2788 SF	NO CHANGE
LOT WIDTH	50 FT	25 FT	NO CHANGE
LOT DEPTH	100 FT	113.95' TO 110.77'	NO CHANGE
FRONT YARD	25 FT	16.25 FT	NO CHANGE
SIDE YARDS	5 & 10 FT	2.1' TO 5.067'	NO CHANGE
REAR YARD	25 FT	25 FT	NO CHANGE
BUILDING COVER	35%	778 SF = 27 %	31.30%
IMPERVIOUS	60%	38%	55.80%

FRONT YARD: PREVAILING SETBACK

COVERAGE	
	AREA
HOUSE	778 sq ft
WALKS	290 sq ft
NEW PATIO	385 sq ft
NEW SHED	104 sq ft
TOTAL COVER	1557 sq ft
PROPERTY	2788 sq ft
BLDG COVER	31.3%
IMPERVIOUS	55.8%

PROJECT DESCRIPTION:

EXISTING RESIDENCE OF 3 BDRM, 1-1/2 BATH
ADDITION OF 2 BATHS, ALTERATION OF KITCHEN
TO MAKE 3 BEDROOM, 3-1/2 BATHS
ALTERATIONS AND RECREATION ROOM TO
BASEMENT

LEVEL	EXISTING AREA
ATTIC FLOOR	611 sq ft
SECOND FLOOR	622 sq ft
FIRST FLOOR	638 sq ft
TOTAL AREA	1871 sq ft
FRONT PORCH	106 sq ft
BASEMENT	568 sq ft
VOLUME	15950 cu ft

BRADLEY BEACH BOROUGH,
MONMOUTH COUNTY NJ
ZONING DISTRICT: R-1
BLOCK 46 LOT 19
NON-CONFORMING LOT

BUILDING CODE:
NEW JERSEY UCC / NJ-IRC 2018
REHABILITATION SUB CODE 5:23-6
WFCM-120 - B
USE GROUP : R-5
CONSTRUCTION TYPE: VB
MAX. NO. STORIES: 2
ENERGY : PRESCRIPTIVE IECC-R 4A ZONE
NATIONAL STANDARD PLUMBING CODE 2017
NEC 2017 NFPA 70
ACCA MANUAL"S "J" "D"

DRAWING LIST

A-01 COVER
A-02 FLOOR PLANS
A-03 ATTIC PLAN
A-04 ELEVATIONS



EXISTING CONDITION

Date	No.	Date
10/31/2022	DJB	DJB
Revision Notes		
A 10/31/2022 ADDED ATTIC FLOOR AND EXPANDED ZONING INFO		

David J. Barici, RA
732 Cottage Rd.
Glenoldie, PA 19038
Phone: 215.833.4375
Fax: 886.335.8041
www.djbaricra.com
www.djbaricra.net

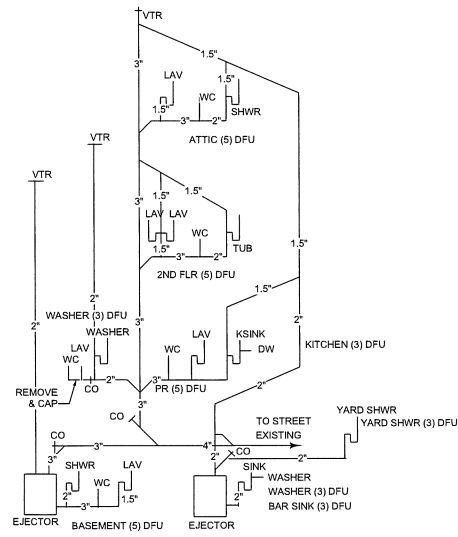
RENOVATED RESIDENCE
602 5TH STREET
BRADLEY BEACH, NJ 07720
ALTERATIONS
COVER

NOTED

A-01
of
4

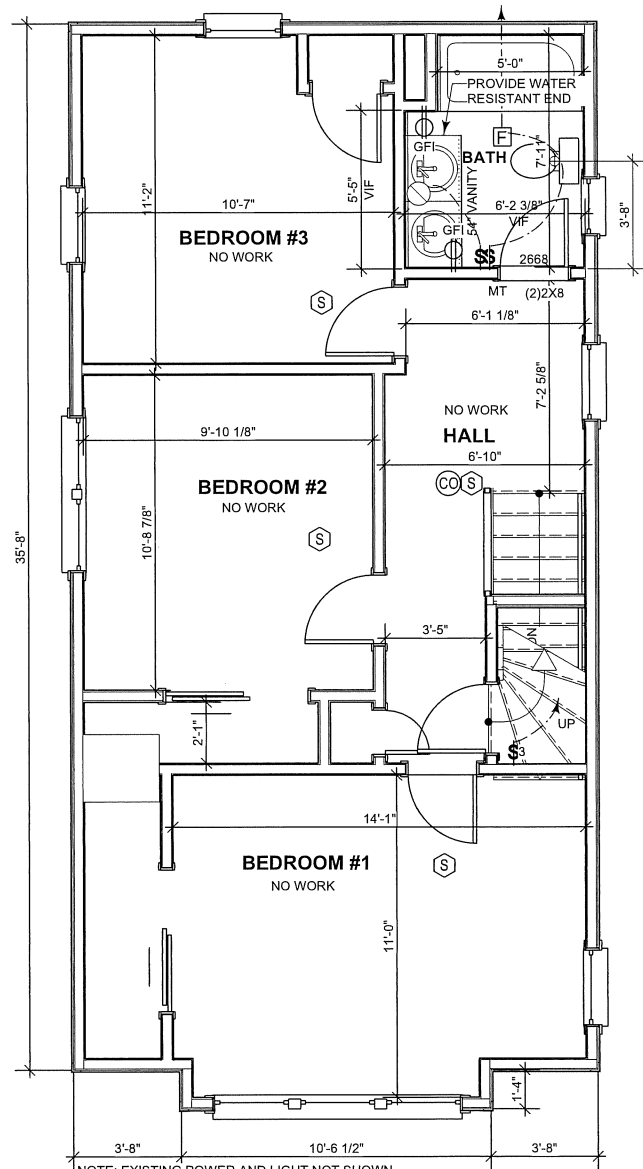
Scale

Sheet No.



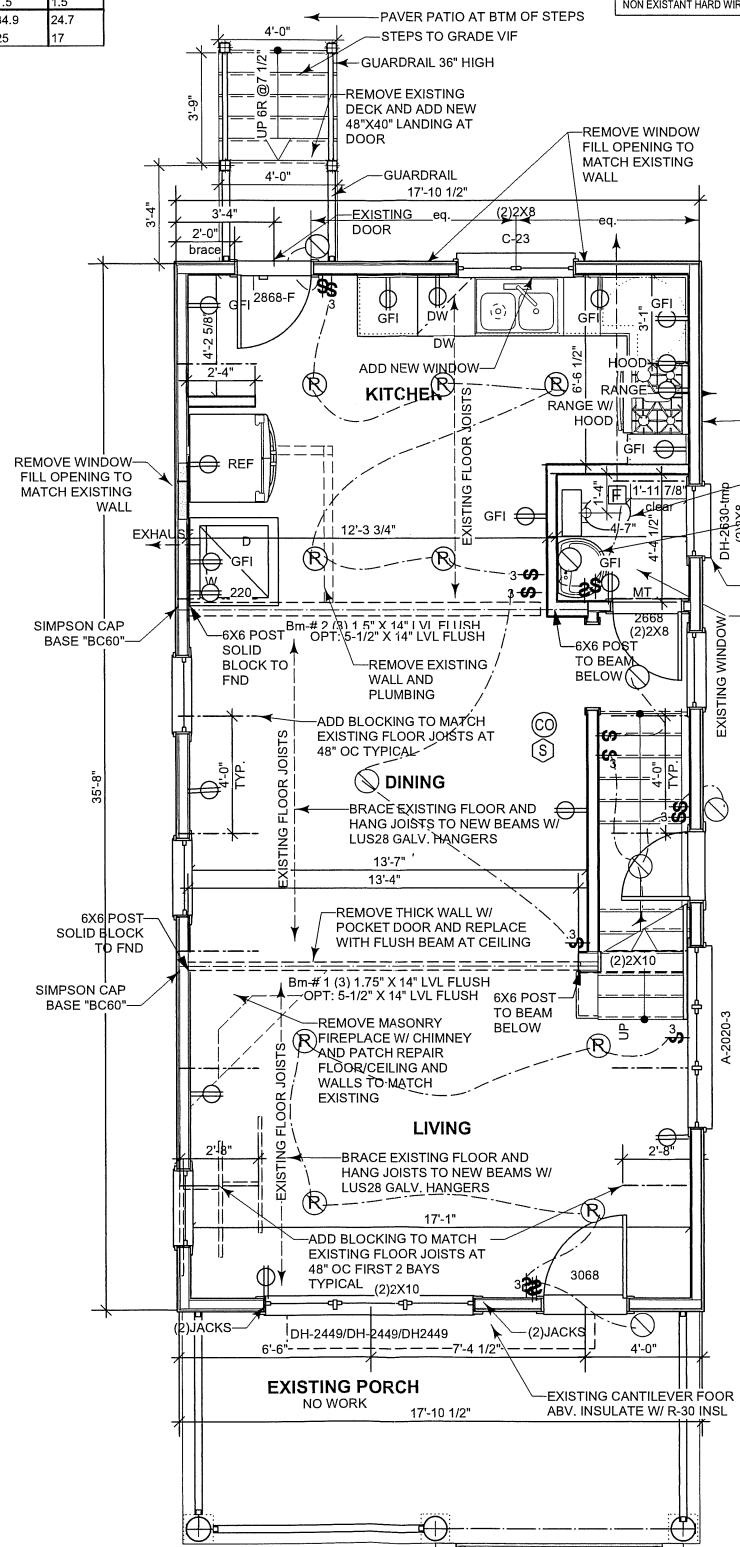
SANITARY RISER
 EXISTING: 16 DFU
 NEW: 32 DFU

FIXTURE/GROUP	WSFU	COLD	HOT
POWDER RM	3.5	3.3	0.8
BASEMENT BATH	5	5	3.8
MASTER BATH	6	6	4.5
KITCHEN	3	1.1	2
HOSE BIBB 1	2.5	2.5	
HOSE BIBB 2	1	1	
HALL BATH 2	5	5	3.8
ATTIC BATH	5	5	3.8
LAUNDRY	4	4.5	4.5
YARD SHWR	2	1.5	1.5
TOTAL WSFU	37	34.9	24.7
TOTAL GPM	25	25	17



NOTE: EXISTING POWER AND LIGHT NOT SHOWN
 SMOKE DETECTORS ARE TO BE INSTALLED
 IN ALL BEDROOMS AND MINIMUM ONE COMBO SMOKE & CARBON
 DIOXIDE DETECTOR
 ON EACH FLOOR LEVEL AND WITHIN 10 FEET OF BEDROOM DOORS IN
 HALL

3 SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"

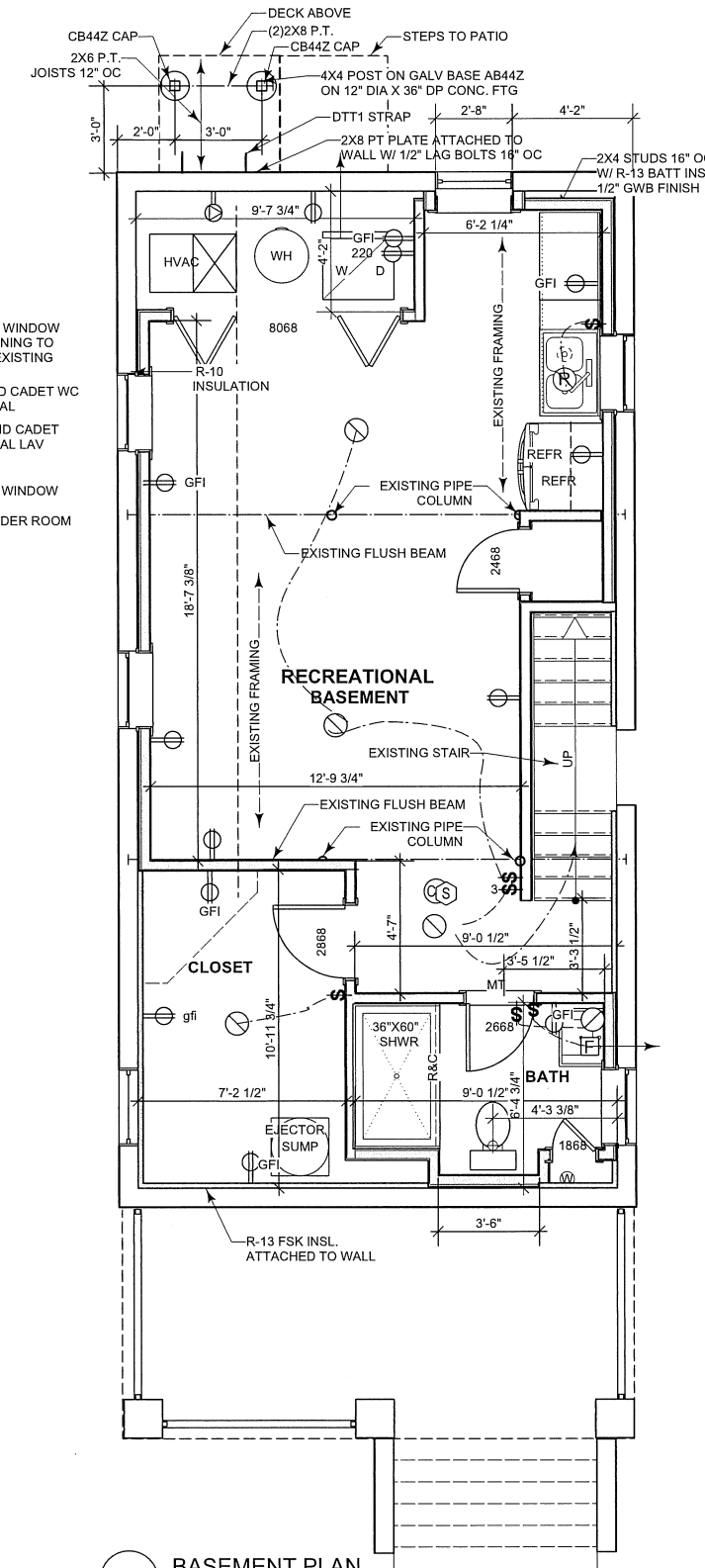


2 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

ELECTRICAL LEGEND					
⊕	DUPLEX OUTLET	⊕	WALL SWITCH	⊙	CEILING LUMINAIRE
⊕	DUPLEX GROUND	⊕	3 WAY SWITCH	⊙	WALL LUMINAIRE
⊕	FAULT CIRCUIT INT.	⊕	4 WAY SWITCH	⊙	PENDANT LUMINAIRE
⊕	DUPLEX WATER	⊕	PROOFED	⊙	WALL WASH
⊕	DUPLEX OUTLET 1/2 HOT	⊕	CEILING EXHAUST FAN	⊙	RECESSED LUMINAIRE
⊕	FLOOD LAMP	⊕	SMOKE DETECTOR	⊙	TELEPHONE/DATA
		⊕	CARBON MONOXIDE DET.	⊙	TV/CABLE

NOTE: LUMINAIRES AND FIXTURES SHALL BE DESIGNED FOR LOCATION
 ALL NEW CIRCUITS SHALL BE AFCI, ALL RECEPTILES TO BE TAMPER RESISTANT.
 VERIFY THAT SMOKE DETECTORS THROUGH OUT BEDROOMS EXIST, ADD ONE PER BEDROOM WITH BATTERY BACKUP IF
 NON EXISTANT HARD WIRED AND MIN. ONE PER FLOOR WITH CO DETECTOR

PLAN LEGEND	
▭	EXTERIOR FRAME WALL STUDS 16" OC R-13/R-20 INSL 1/2" GWB INT FINISH
▭	EXISTING WALL
▭	NEW WALL 2X4 STUDS 16" OC W/ 1/2" GWB FINISH



1 BASEMENT PLAN
 Scale: 1/4" = 1'-0"

David J. Barici, RA
 732 Cottage Rd.
 Glenview, PA 19038
 phone: 215.833.4375
 fax: 888.335.9041
 www.djbaricra.com
 www.djbaricra.net
 PA: RA-011072-X NJ: 10989 0014403

RENOVATED RESIDENCE
 602 5TH STREET
 BRADLEY BEACH, NJ 07720
ALTERATIONS

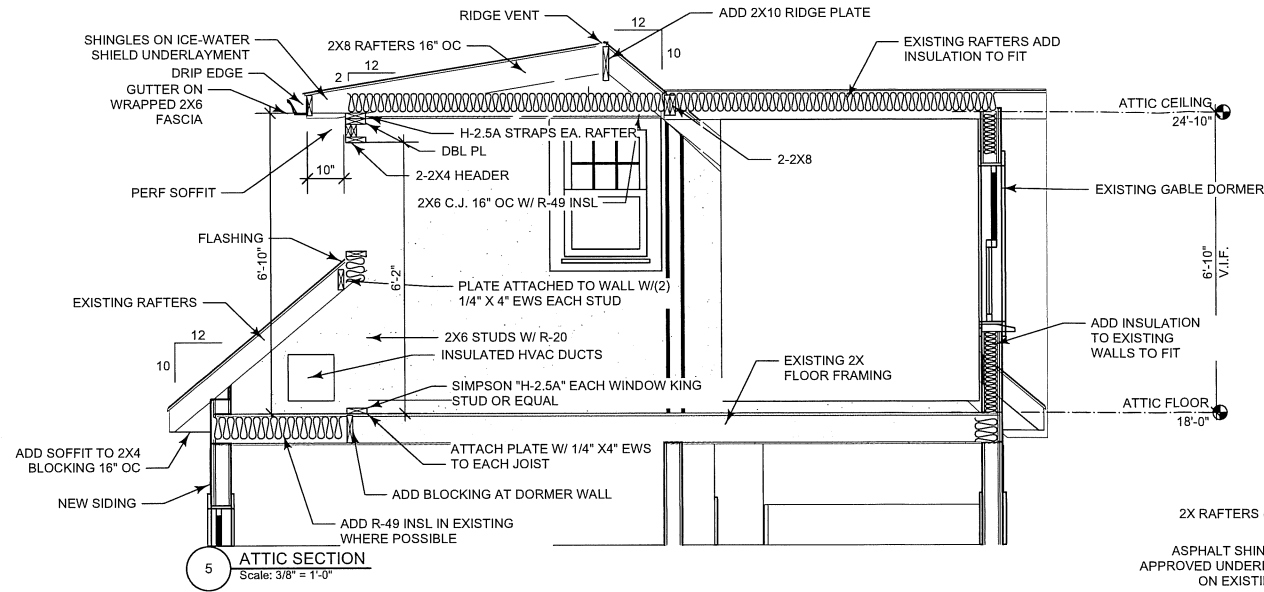
Scale: NOTED

Sheet No. **A-02**
 of 4

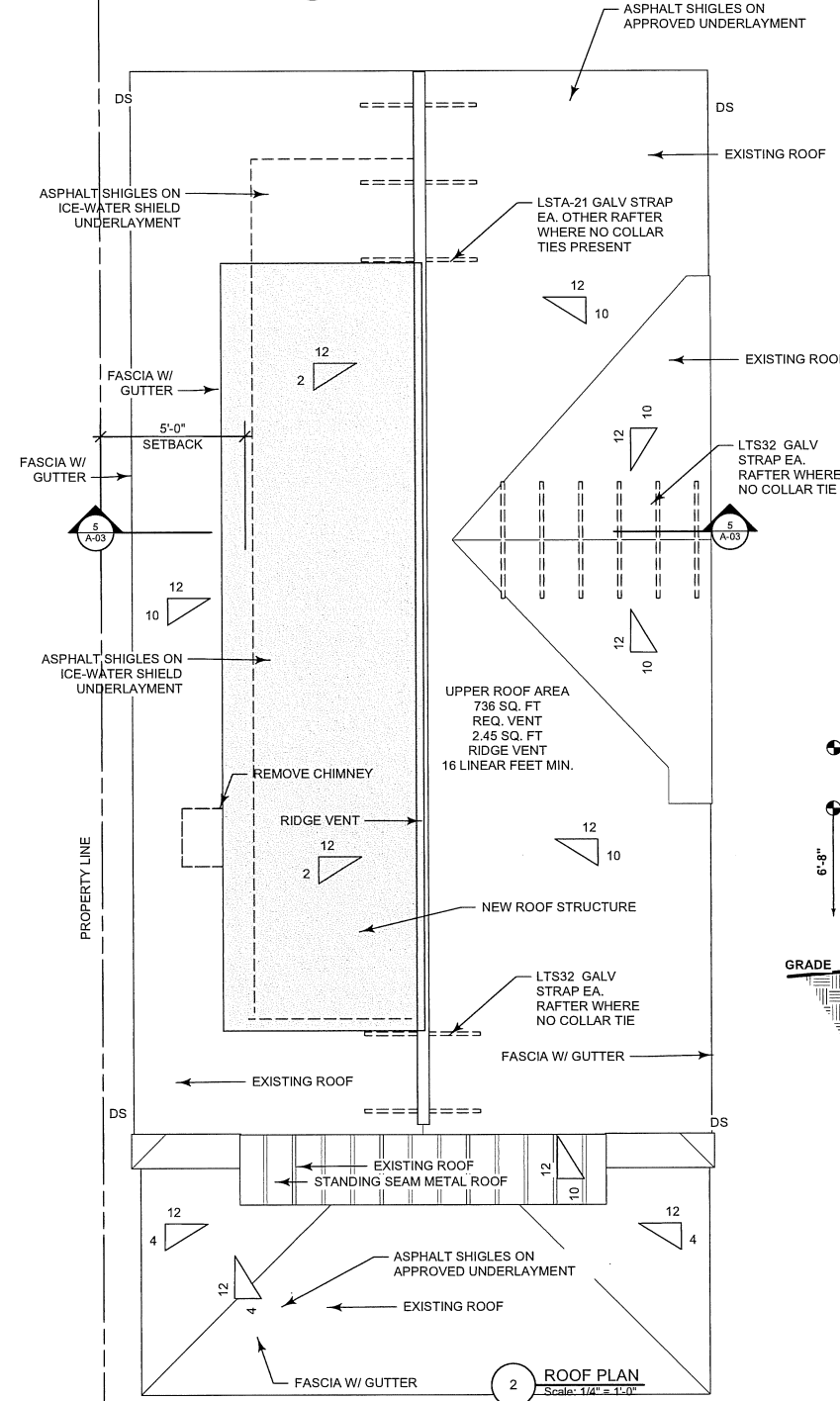
Date: 10/31/2022
 Drawn By: DJB
 Checked By: DJB

Revision	Notes
No.	Date

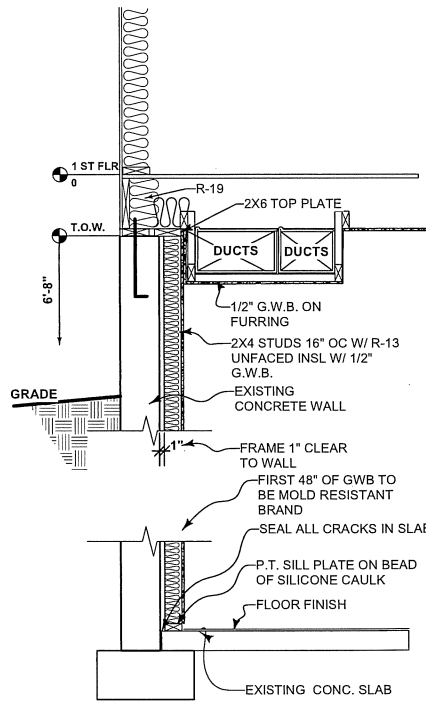
FLOOR PLANS



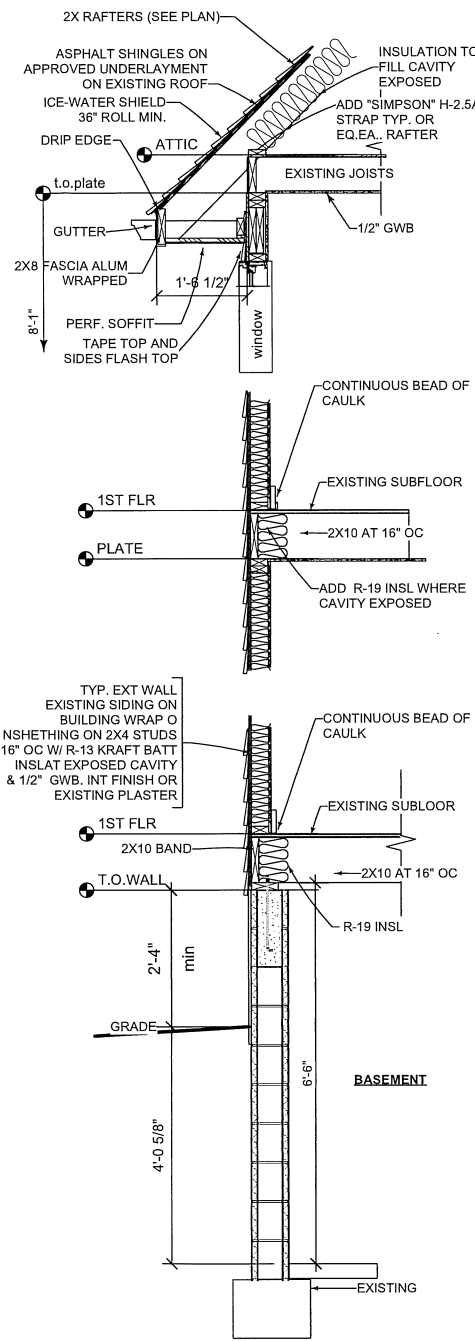
5 ATTIC SECTION
Scale: 3/8" = 1'-0"



2 ROOF PLAN
Scale: 1/4" = 1'-0"



4 FINISHED BASEMENT
Scale: 1/2" = 1'-0"

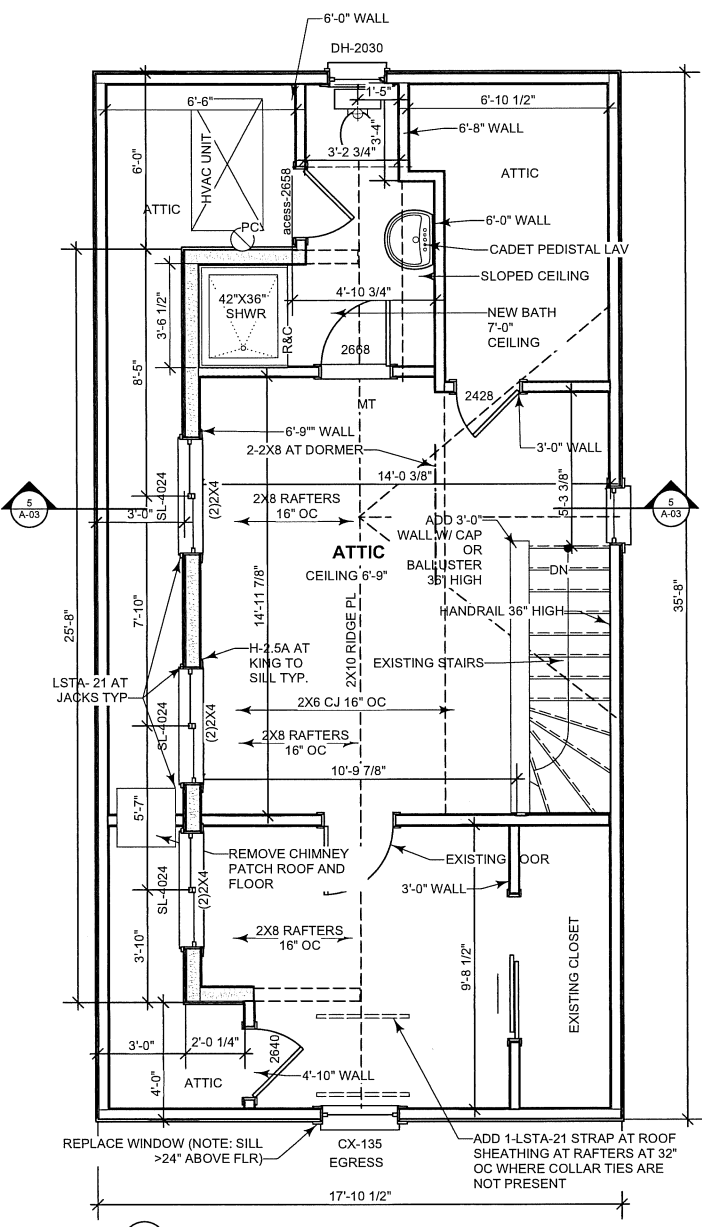


3 TYPICAL WALL SECTION
Scale: 1/2" = 1'-0"

ELECTRICAL LEGEND					
	DUPLEX OUTLET		WALL SWITCH		CEILING LUMINAIRE
	DUPLEX GROUND FAULT CIRCUIT INT.		3 WAY SWITCH		WALL LUMINAIRE
	GFI		4 WAY SWITCH		PENDANT LUMINAIRE
	DUPLEX WATER PROOFED		CEILING EXHAUST FAN		WALL WASH
	DUPLEX OUTLET 1/2 HOT		SMOKE DETECTOR		RECESSED LUMINAIRE
	FLOOD LAMP		CARBON MONOXIDE DET.		TELEPHONE/DATA
			TV/CABLE		

NOTE: LUMINAIRES AND FIXTURES SHALL BE DESIGNED FOR LOCATION ALL NEW CIRCUITS SHALL BE AFCI, ALL RECEPTICLES TO BE TAMPER RESISTANT. VERIFY THAT SMOKE DETECTORS THROUGH OUT BEDROOMS EXIST, ADD ONE PER BEDROOM WITH BATTERY BACKUP IF NON EXISTANT HARD WIRED AND MIN. ONE PER FLOOR WITH CO DETECTOR

PLAN LEGEND	
	EXTERIOR FRAME WALL STUDS 16" OC R-13/R-20 INSL 1/2" GWB INT FINISH
	EXISTING WALL
	NEW WALL 2X4 STUDS 16" OC W/ 1/2" GWB FINISH

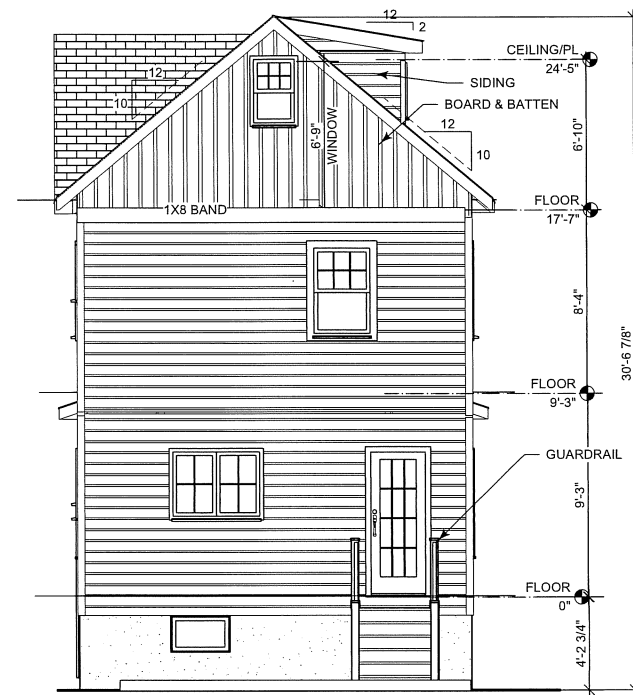


1 ATTIC FLOOR
Scale: 1/4" = 1'-0"

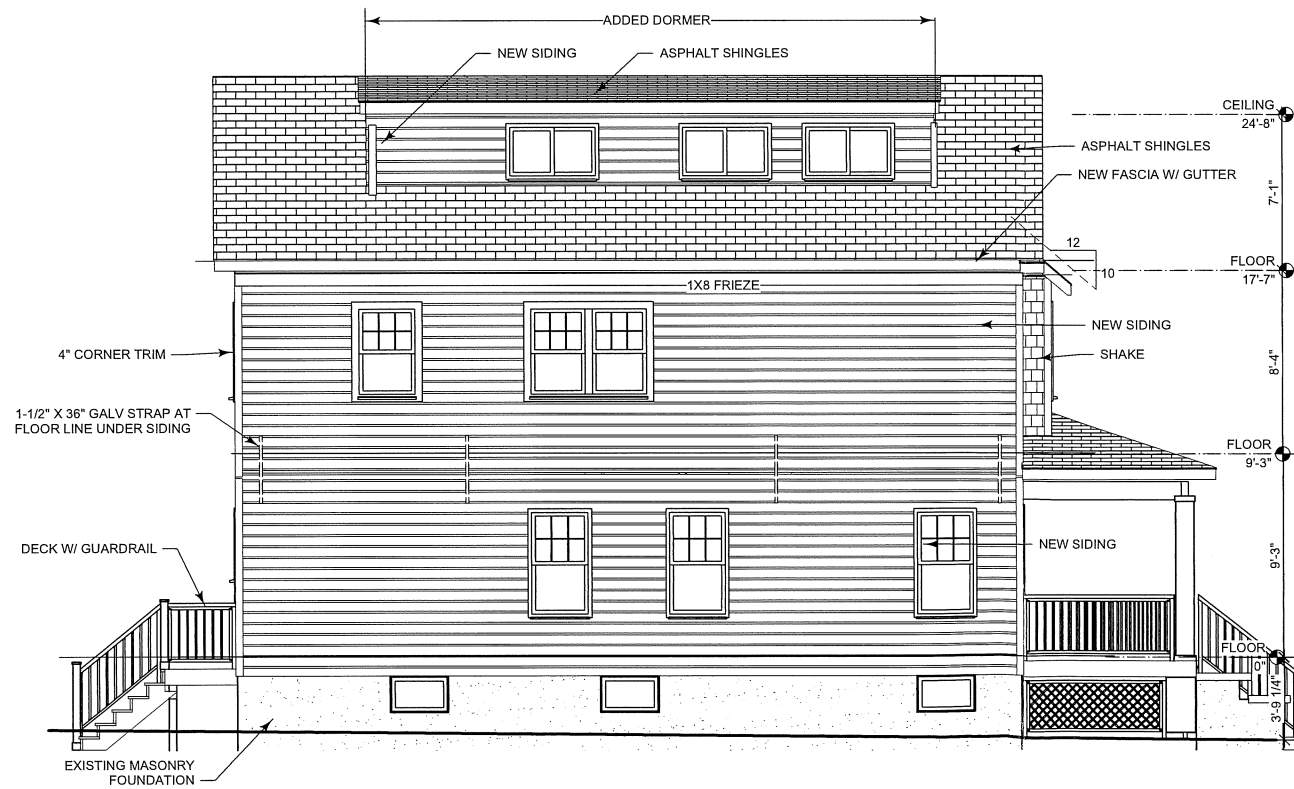
Revision Notes	
Date	No.
10/31/2022	
Drawn By	Checked By
DJB	DJB
David J. Barici, RA 732 Cottage Rd. Glenside, PA 19038 phone: 215.833.4375 fax: 888.335.3041 www.djbarichie.com www.djbarichie.net PA: RA-011072-X NJ: 10999 MD: 0014403	
RENOVATED RESIDENCE 602 5TH STREET BRADLEY BEACH, NJ 07720 ALTERATIONS ATTIC PLAN & ELEVATIONS	
Project Title	Scale
NOTED	
Sheet No.	
A-03	
of	
4	



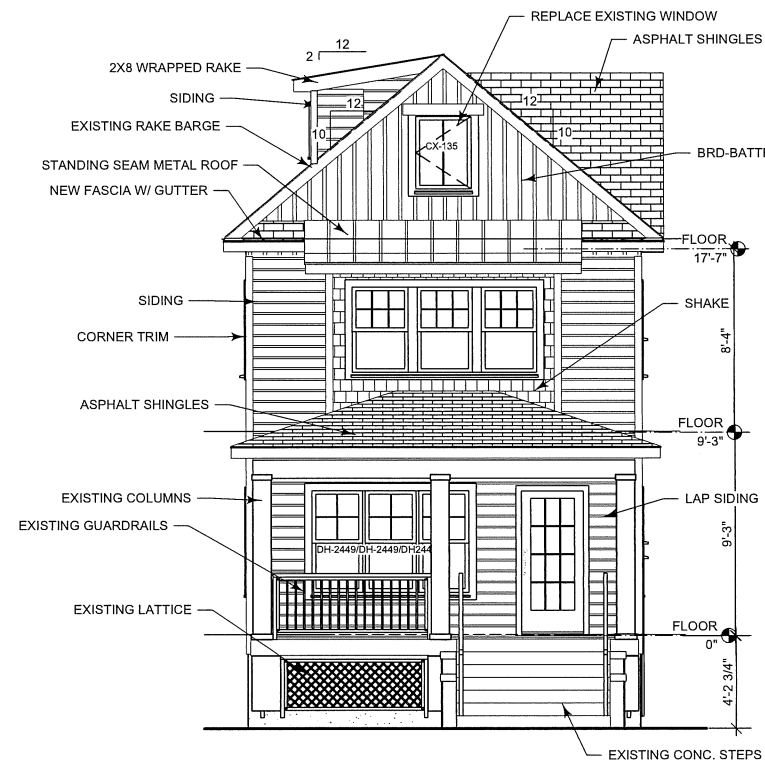
5 RIGHT SIDE ELEVATION
Scale: 3/16" = 1'-0"



4 REAR ELEVATION
Scale: 3/16" = 1'-0"



3 LEFT SIDE ELEVATION
Scale: 3/16" = 1'-0"



2 FRONT ELEVATION
Scale: 3/16" = 1'-0"

Revision Notes	
No.	Date
Date	10/31/2022
Drawn By	DJB
Checked By	DJB
Design Firm	David J. Barici, RA 732 Cottage Rd. Glenside, PA 19038 phone: 215.833.4375 fax: 888.335.8041 www.djbaricinet.net
Project Title	RENOVATED RESIDENCE 602 5TH STREET BRADLEY BEACH, NJ 07720 ALTERATIONS
Scale	NOTED
Sheet No.	A-04
	of
	4